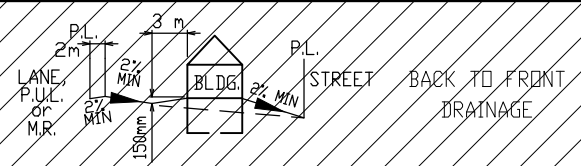
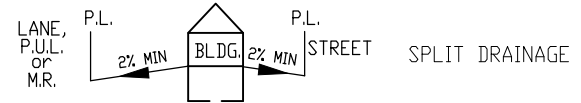


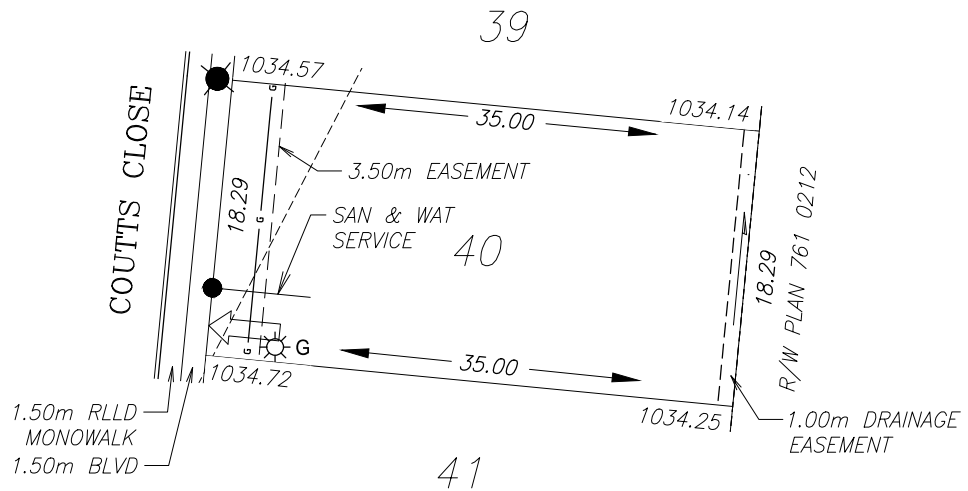
# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE TOWN OF OLDS ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND
- SANITARY & WATER
  - ⊙ FIRE HYDRANT
  - G GAS SERVICE
  - o- GAS
  - ☀ POWER, TELEPHONE & CABLE SERVICE
  - STREET LIGHT
  - ⊠ COMMUNITY MAILBOX
  - TRANSFORMER
  - ▲ PEDESTAL
  - ➡ DRIVEWAY
  - ➡ DRAINAGE SWALE



GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.18  
LOWEST ELEVATION = 1032.47

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1031.62  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 13 COUTTS CLOSE  
LOT: 40 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
RECEIVED BY: DATE:

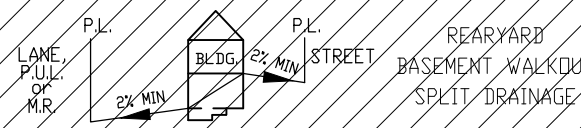
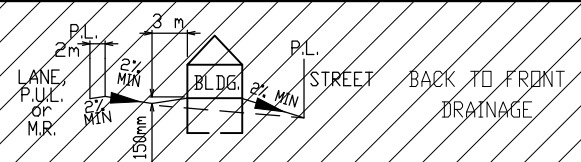
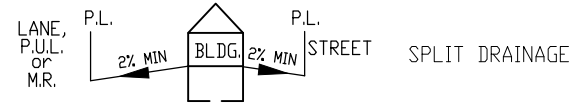
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.02  
ELEV. AT REAR OF HOUSE = 1034.55

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

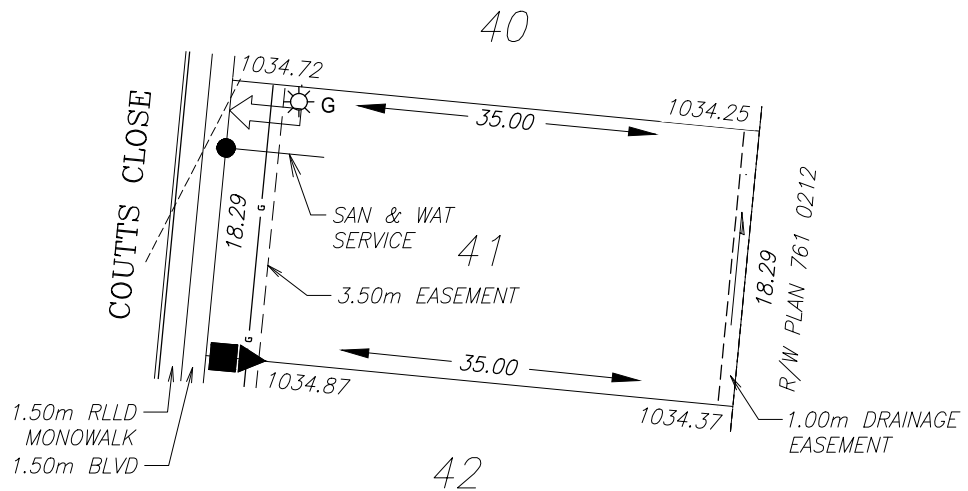
# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

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- LEGEND
- SANITARY & WATER
  - ⊙ FIRE HYDRANT
  - G GAS SERVICE
  - G- GAS
  - ☼ POWER, TELEPHONE & CABLE SERVICE
  - STREET LIGHT
  - ⊠ COMMUNITY MAILBOX
  - TRANSFORMER
  - ▲ PEDESTAL
  - ➡ DRIVEWAY
  - ➡ DRAINAGE SWALE



GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.25  
LOWEST ELEVATION = 1032.55

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1031.70  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 15 COUTTS CLOSE  
LOT: 41 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
RECEIVED BY: DATE:

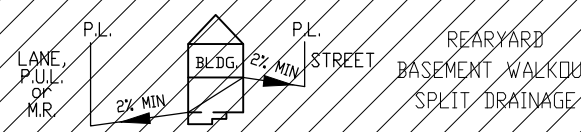
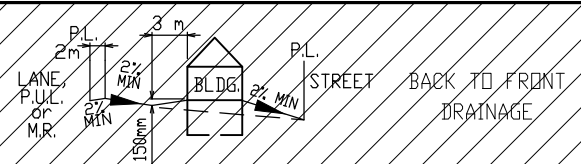
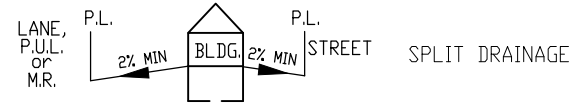
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.17  
ELEV. AT REAR OF HOUSE = 1034.67

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

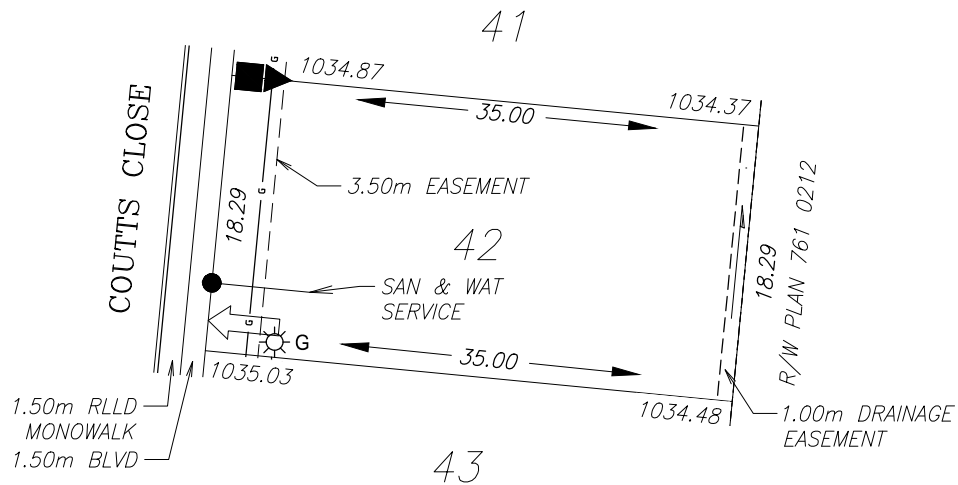
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Town of Olds  
Issued by: No.

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- LEGEND
- SANITARY & WATER
  - ⊙ FIRE HYDRANT
  - G GAS SERVICE
  - - - GAS
  - ☀ POWER, TELEPHONE & CABLE SERVICE
  - STREET LIGHT
  - ⊠ COMMUNITY MAILBOX
  - TRANSFORMER
  - ▲ PEDESTAL
  - ➡ DRIVEWAY
  - ➡ DRAINAGE SWALE



GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.23  
LOWEST ELEVATION = 1032.72

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1031.87  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 17 COUTTS CLOSE  
LOT: 42 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
RECEIVED BY: DATE:

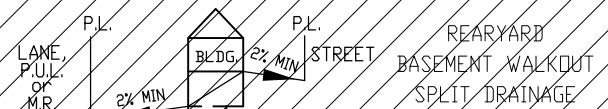
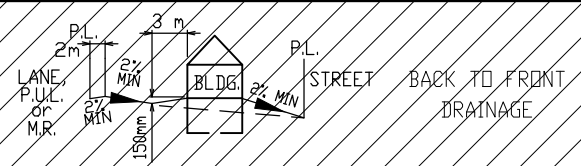
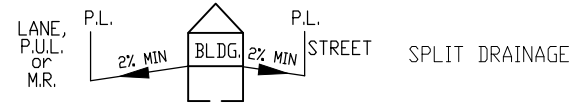
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.33  
ELEV. AT REAR OF HOUSE = 1034.78

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

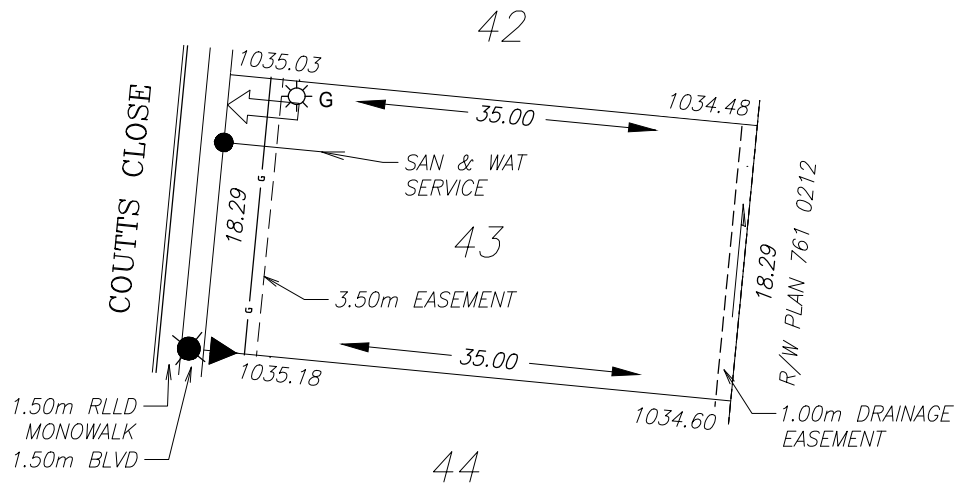
# BUILDING GRADE CERTIFICATE

Town of Olds  
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- LEGEND
- SANITARY & WATER
  - ⊙ FIRE HYDRANT
  - G GAS SERVICE
  - - - GAS
  - ☀ POWER, TELEPHONE & CABLE SERVICE
  - STREET LIGHT
  - ⊠ COMMUNITY MAILBOX
  - TRANSFORMER
  - ▲ PEDESTAL
  - ➡ DRIVEWAY
  - ➡ DRAINAGE SWALE



GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.39  
LOWEST ELEVATION = 1032.72

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1031.87  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 19 COUTTS CLOSE  
LOT: 43 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
RECEIVED BY: DATE:

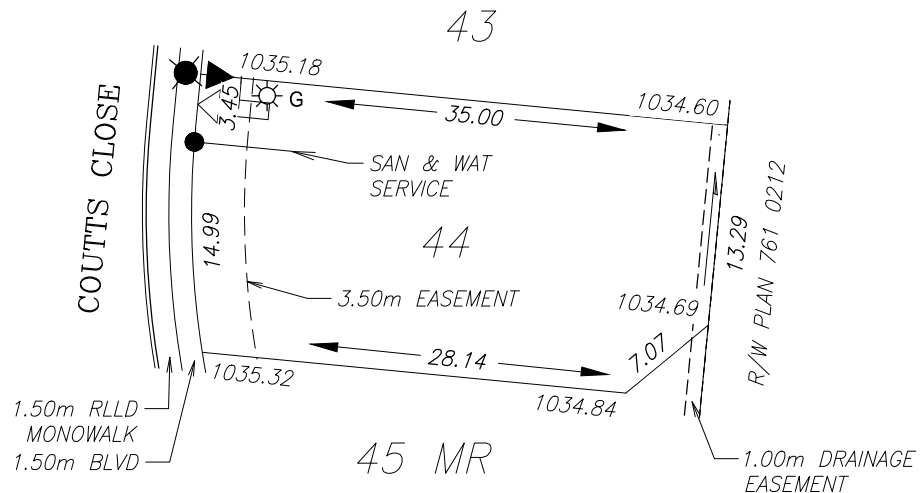
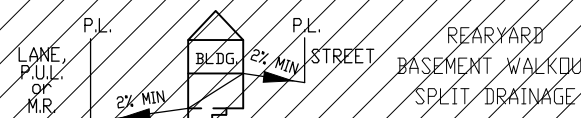
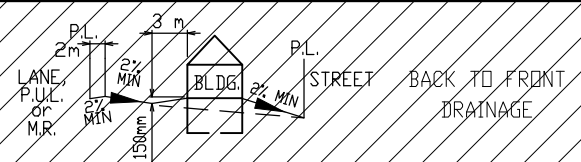
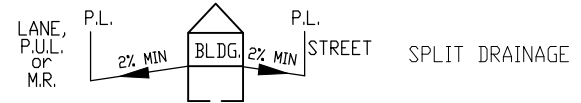
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.48  
ELEV. AT REAR OF HOUSE = 1034.90

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

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## LEGEND

- SANITARY & WATER
- ⊙ FIRE HYDRANT
- G GAS SERVICE
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ▲ PEDESTAL
- ➡ DRIVEWAY
- ➡ DRAINAGE SWALE

GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.46  
LOWEST ELEVATION = 1032.79

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1031.94  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 21 COUTTS CLOSE  
LOT: 44 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
RECEIVED BY: DATE:

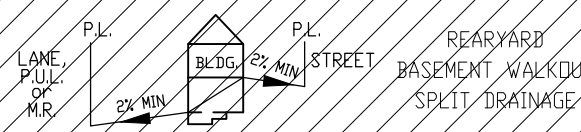
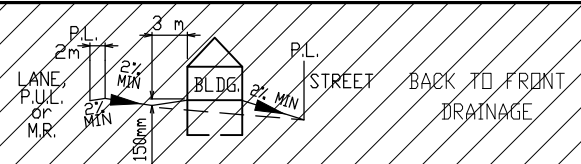
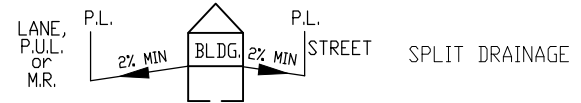
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.62  
ELEV. AT REAR OF HOUSE = 1035.14

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

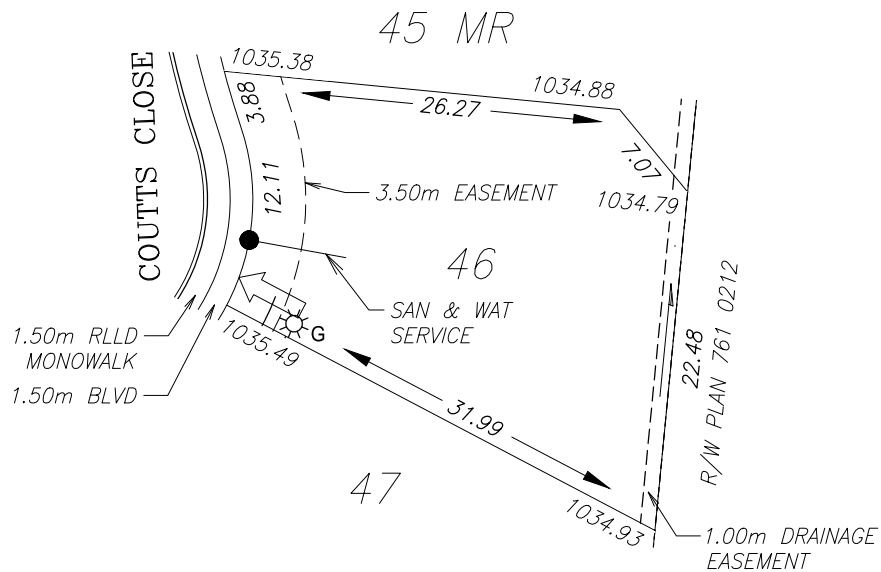
# BUILDING GRADE CERTIFICATE

Town of Olds  
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- LEGEND**
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  - ⊙ FIRE HYDRANT
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  - o- GAS
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  - ⊠ COMMUNITY MAILBOX
  - TRANSFORMER
  - ▲ PEDESTAL
  - ➡ DRIVEWAY
  - ➡ DRAINAGE SWALE



GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.20  
LOWEST ELEVATION = 1033.24

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1032.39  
STORM AT 5.0m INSIDE LOT = N/A

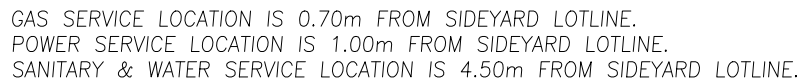
CIVIC ADDRESS: 23 COUTTS CLOSE  
LOT: 46 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
RECEIVED BY: DATE:

DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.79  
ELEV. AT REAR OF HOUSE = 1035.23

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

Town of Olds	
Issued by:	No.

- 
- The diagrams illustrate three different basement drainage scenarios:
- SPLIT DRAINAGE:** Shows a building (BLDG.) with a front yard (P.L.) and a rear yard (P.L.). A street is located to the right. A 2% MIN slope is indicated for the front yard, and a 2% MIN slope is indicated for the rear yard.
  - BACK TO FRONT DRAINAGE:** Shows a building (BLDG.) with a front yard (P.L.) and a rear yard (P.L.). A street is located to the right. A 2% MIN slope is indicated for the front yard, and a 2% MIN slope is indicated for the rear yard. A 150mm dimension is shown for the rear yard.
  - REARYARD BASEMENT WALKOUT SPLIT DRAINAGE:** Shows a building (BLDG.) with a front yard (P.L.) and a rear yard (P.L.). A street is located to the right. A 2% MIN slope is indicated for the front yard, and a 2% MIN slope is indicated for the rear yard.

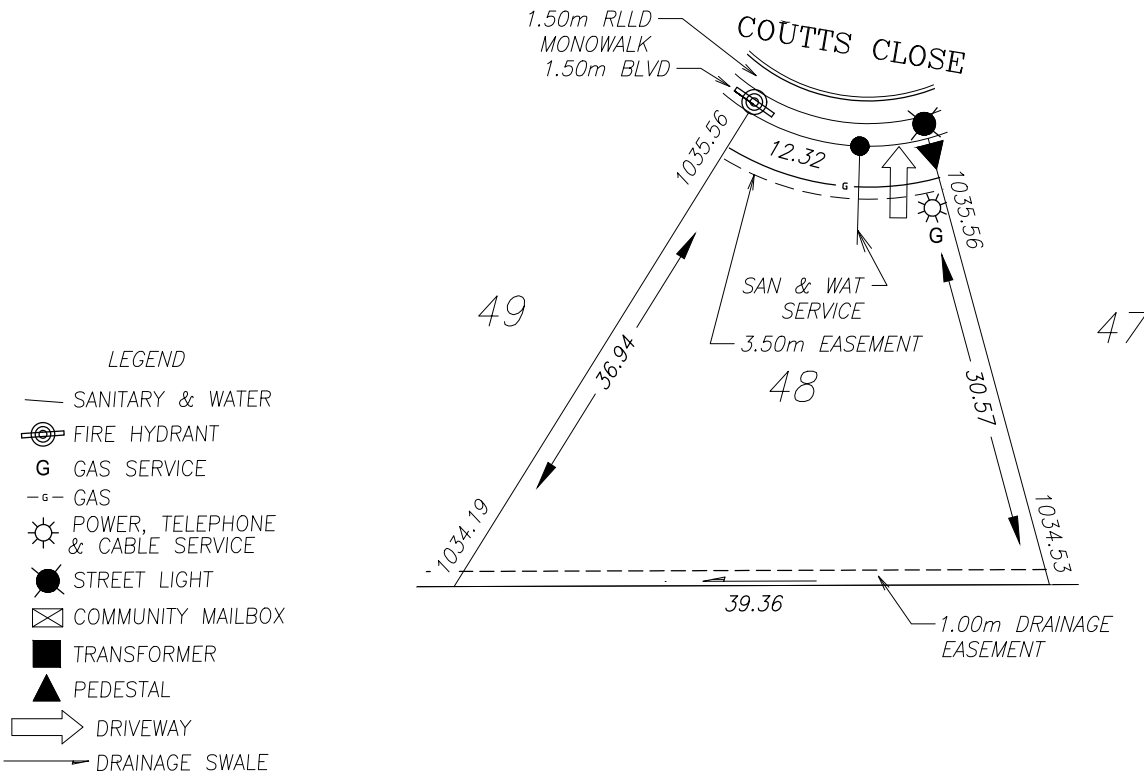
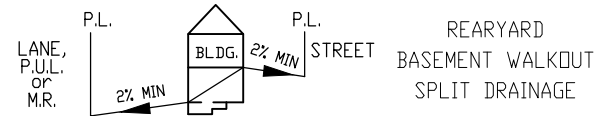
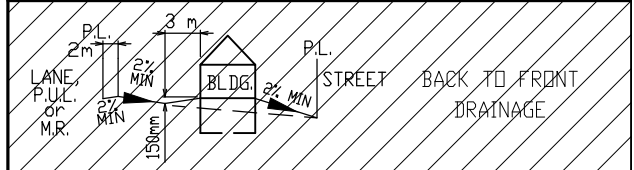
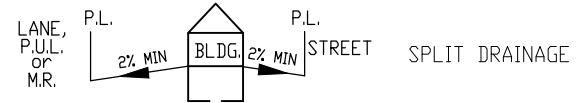


TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.36 LOWEST ELEVATION = 1033.17		CIVIC ADDRESS: 25 COUTTS CLOSE LOT: 47 BLOCK: 1 PLAN No.: 171 1397 DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016 APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017 RECEIVED BY: _____ DATE: _____	
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 1032.32 STORM AT 5.0m INSIDE LOT = N/A			
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 1035.86 ELEV. AT REAR OF HOUSE = 1035.37		I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____	

# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

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GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.26  
LOWEST ELEVATION = 1033.30

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1032.45  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 24 COUTTS CLOSE  
LOT: 48 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
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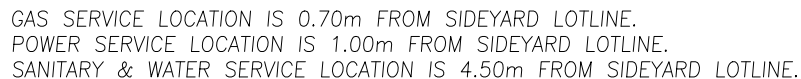
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.86  
ELEV. AT REAR OF HOUSE = 1034.83

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_



Town of Olds	
Issued by:	No.

- 

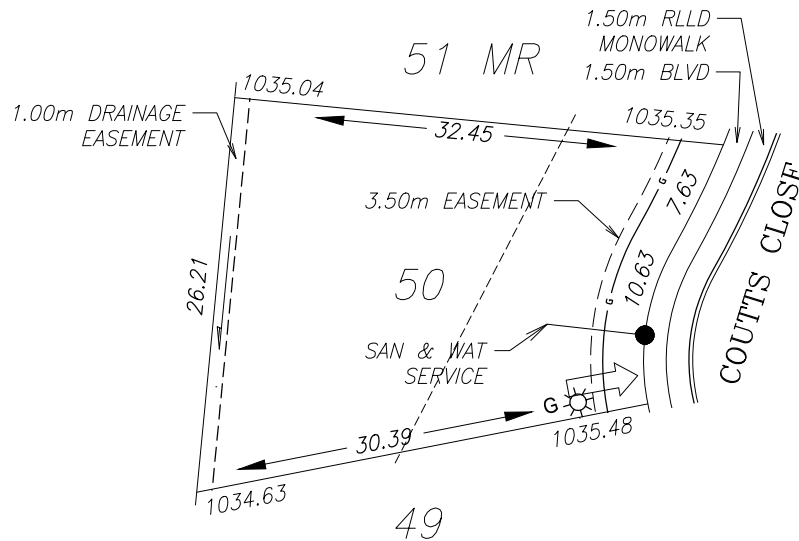
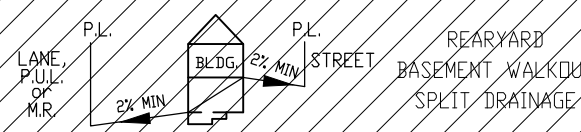
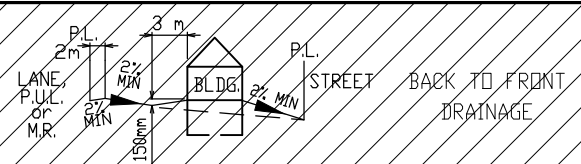
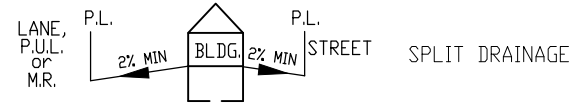


TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>2.25</u> LOWEST ELEVATION = <u>1033.27</u>		CIVIC ADDRESS: <u>22 COUTTS CLOSE</u> LOT: <u>49</u> BLOCK: <u>1</u> PLAN No.: <u>171 1397</u> DEVELOPER: <u>RICHARDSON BROTHERS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>OCT 21, 2016</u> APPROVED BY: <u>TRAVIS FILLIER, P.ENG</u> DATE: <u>JUL 13, 2017</u> RECEIVED BY: _____ DATE: _____	
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>1032.42</u> STORM AT 5.0m INSIDE LOT = <u>N/A</u>			
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>1035.86</u> ELEV. AT REAR OF HOUSE = <u>1034.93</u>		I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____	

# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE TOWN OF OLDS ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



## LEGEND

- SANITARY & WATER
- ⊙ FIRE HYDRANT
- G GAS SERVICE
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ▲ PEDESTAL
- ➡ DRIVEWAY
- ➡ DRAINAGE SWALE

GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

NOTE: BEARING CERTIFICATE REQUIRED.

## TOP OF FOOTING:

MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.24  
LOWEST ELEVATION = 1033.18

## AS-BUILT SEWER INVERT ELEVATIONS:

SANITARY AT 5.0m INSIDE LOT = 1032.33  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 20 COUTTS CLOSE

LOT: 50 BLOCK: 1 PLAN No.: 171 1397

DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500

DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016

APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017

RECEIVED BY: DATE:

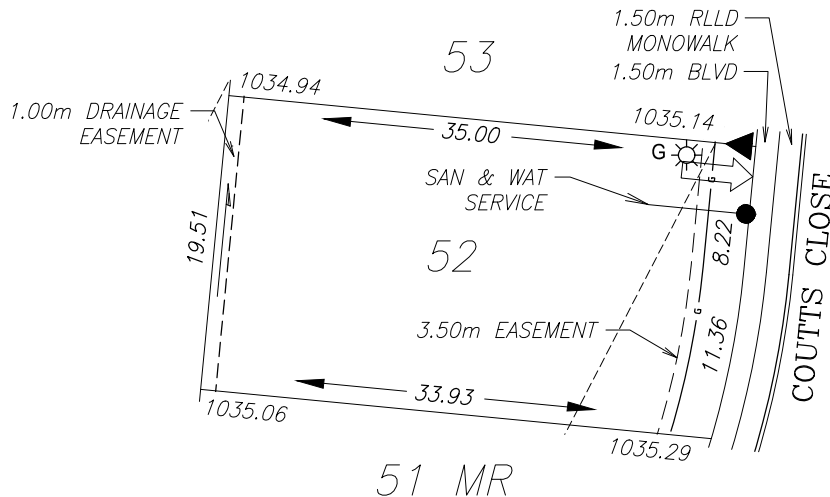
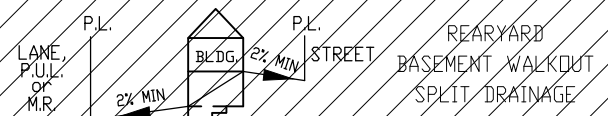
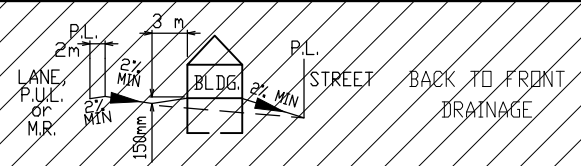
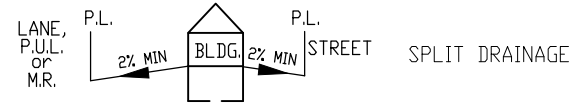
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.78  
ELEV. AT REAR OF HOUSE = 1035.34

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE TOWN OF OLDS ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



## LEGEND

- SANITARY & WATER
- ⊙ FIRE HYDRANT
- G GAS SERVICE
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ▲ PEDESTAL
- ➡ DRIVEWAY
- ➡ DRAINAGE SWALE

GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

NOTE: BEARING CERTIFICATE REQUIRED.

TOP OF FOOTING:

MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.45  
LOWEST ELEVATION = 1032.77

AS-BUILT SEWER INVERT ELEVATIONS:

SANITARY AT 5.0m INSIDE LOT = 1031.92  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 18 COUTTS CLOSE

LOT: 52 BLOCK: 1 PLAN No.: 171 1397

DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500

DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016

APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017

RECEIVED BY: DATE:

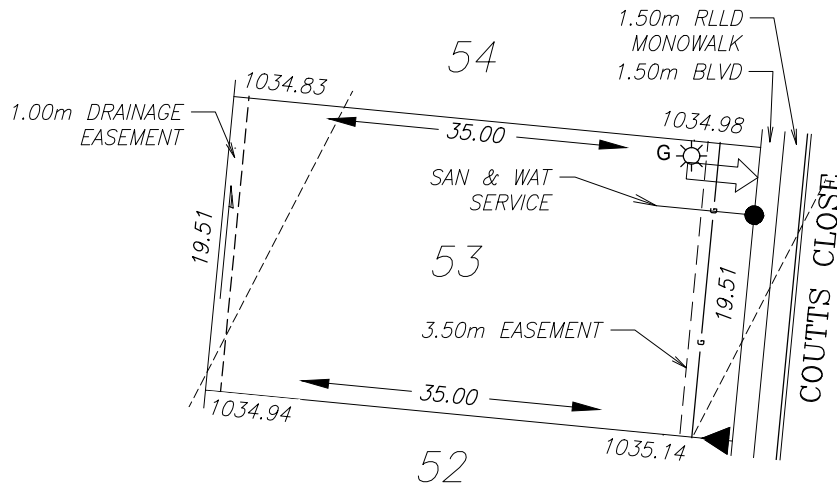
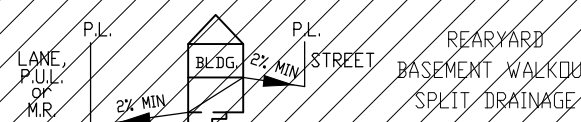
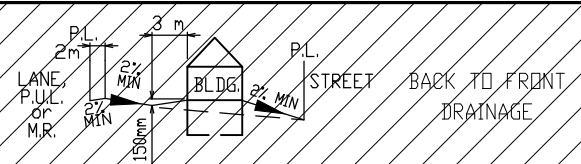
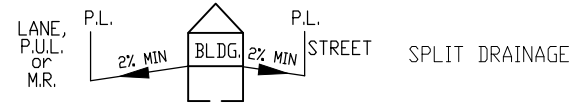
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.59  
ELEV. AT REAR OF HOUSE = 1035.36

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

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3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
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## LEGEND

- SANITARY & WATER
- ⊙ FIRE HYDRANT
- G GAS SERVICE
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ⬤ STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ▲ PEDESTAL
- ➡ DRIVEWAY
- ➡ DRAINAGE SWALE

GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

NOTE: BEARING CERTIFICATE REQUIRED.

TOP OF FOOTING:

MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.48  
LOWEST ELEVATION = 1032.58

AS-BUILT SEWER INVERT ELEVATIONS:

SANITARY AT 5.0m INSIDE LOT = 1031.73  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 16 COUTTS CLOSE

LOT: 53 BLOCK: 1 PLAN No.: 171 1397

DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500

DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016

APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017

RECEIVED BY: DATE:

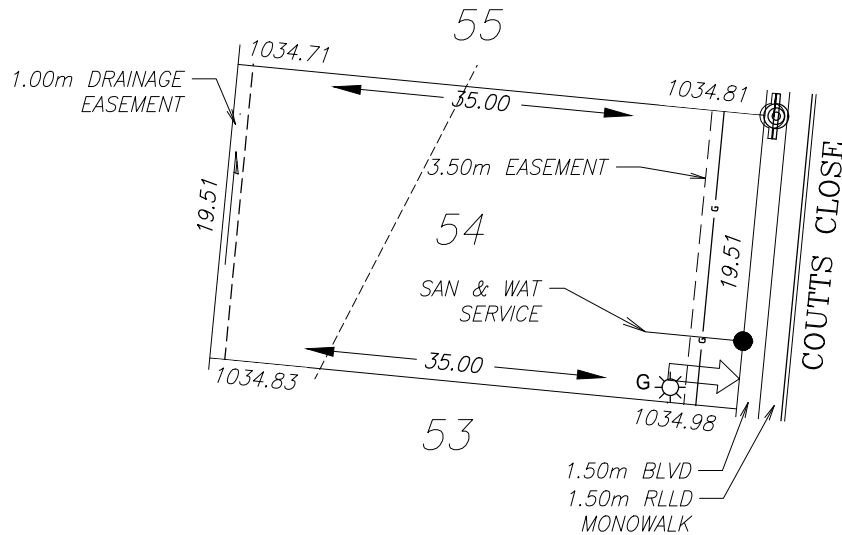
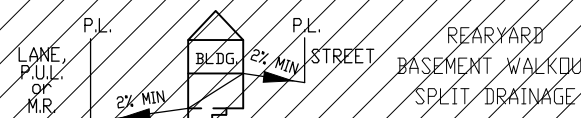
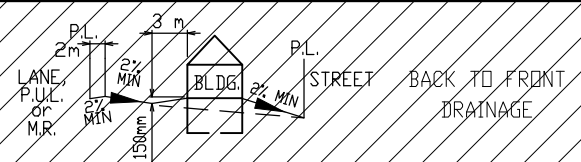
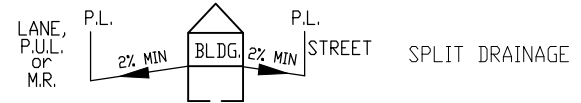
DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.44  
ELEV. AT REAR OF HOUSE = 1035.24

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

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## LEGEND

- SANITARY & WATER
- ⊙ FIRE HYDRANT
- G GAS SERVICE
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ▲ PEDESTAL
- ➡ DRIVEWAY
- ➡ DRAINAGE SWALE

GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

NOTE: BEARING CERTIFICATE REQUIRED.

## TOP OF FOOTING:

MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.34  
LOWEST ELEVATION = 1032.56

## AS-BUILT SEWER INVERT ELEVATIONS:

SANITARY AT 5.0m INSIDE LOT = 1031.71  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 14 COUTTS CLOSE

LOT: 54 BLOCK: 1 PLAN No.: 171 1397

DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500

DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016

APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017

RECEIVED BY: DATE:

DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1035.28  
ELEV. AT REAR OF HOUSE = 1035.13

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_

Town of Olds	
Issued by:	No.

- The diagrams illustrate required drainage patterns for different building types and lot configurations:

  - Top Diagram:** Shows a building (BLDG.) with a front yard (2% MIN slope) and a rear yard (2% MIN slope). The drainage pattern is labeled "SPLIT DRAINAGE".
  - Middle Diagram:** Shows a building (BLDG.) with a front yard (2% MIN slope) and a rear yard (2% MIN slope). The drainage pattern is labeled "BACK TO FRONT DRAINAGE".
  - Bottom Diagram:** Shows a building (BLDG.) with a front yard (2% MIN slope) and a rear yard (2% MIN slope). The drainage pattern is labeled "REARYARD BASEMENT WALKOUT SPLIT DRAINAGE".

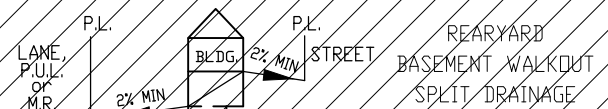
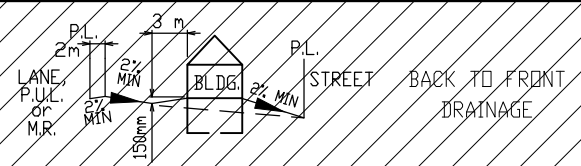
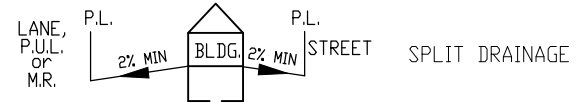


TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>2.31</u> LOWEST ELEVATION = <u>1032.42</u>		CIVIC ADDRESS: <u>12 COUTTS CLOSE</u> LOT: <u>55</u> BLOCK: <u>1</u> PLAN No.: <u>171 1397</u> DEVELOPER: <u>RICHARDSON BROTHERS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>OCT 21, 2016</u> APPROVED BY: <u>TRAVIS FILLIER, P.ENG</u> DATE: <u>JUL 13, 2017</u> RECEIVED BY: _____ DATE: _____	
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>1031.57</u> STORM AT 5.0m INSIDE LOT = <u>N/A</u>			
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>1035.11</u> ELEV. AT REAR OF HOUSE = <u>1035.01</u>		I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____	

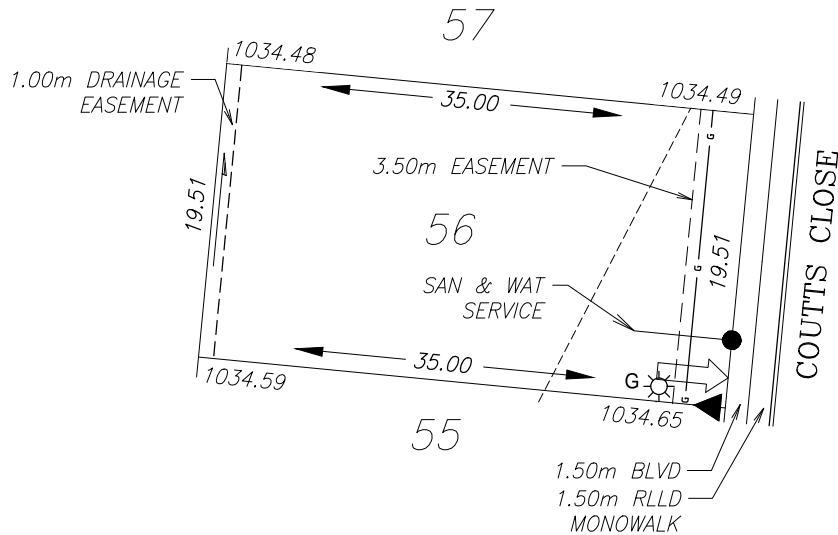
# BUILDING GRADE CERTIFICATE

Town of Olds  
Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE
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- LEGEND
- SANITARY & WATER
  - ⊙ FIRE HYDRANT
  - G GAS SERVICE
  - - - GAS
  - ☀ POWER, TELEPHONE & CABLE SERVICE
  - STREET LIGHT
  - ⊠ COMMUNITY MAILBOX
  - TRANSFORMER
  - ▲ PEDESTAL
  - ➡ DRIVEWAY
  - ➡ DRAINAGE SWALE



GAS SERVICE LOCATION IS 0.70m FROM SIDEYARD LOTLINE.  
POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE.  
SANITARY & WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE.

NOTE: BEARING CERTIFICATE REQUIRED.

TOP OF FOOTING:  
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.05  
LOWEST ELEVATION = 1032.52

AS-BUILT SEWER INVERT ELEVATIONS:  
SANITARY AT 5.0m INSIDE LOT = 1031.67  
STORM AT 5.0m INSIDE LOT = N/A

CIVIC ADDRESS: 10 COUTTS CLOSE  
LOT: 56 BLOCK: 1 PLAN No.: 171 1397  
DEVELOPER: RICHARDSON BROTHERS SCALE: 1:500  
DRAWN BY: STANTEC CONSULTING LTD DATE: OCT 21, 2016  
APPROVED BY: TRAVIS FILLIER, P.ENG DATE: JUL 13, 2017  
RECEIVED BY: DATE:

DESIGN LANDSCAPE ELEVATIONS  
ELEV. AT FRONT OF HOUSE = 1034.95  
ELEV. AT REAR OF HOUSE = 1034.89

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_  
(REAR) \_\_\_\_\_  
SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_